



Urban Planning and Land Use

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Kansas City, Kansas 66101
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To: City Planning Commission
From: City Staff
Date: April 9, 2018
Re: Petition #PR-2018-15

GENERAL INFORMATION

Applicant:
Tyler Edwards

Status of Applicant:
Operator
Menard, Inc.
5101 Menard Drive
Eau Claire, WI 54703

Requested Action:
Approval of Final Development Plan

Date of Application:
February 23, 2018

Purpose:
To build a 210,754 square foot
Menards home improvement store

Property Location:
1301 North 98th Street

Existing Zoning:
A-G Agriculture District (rezoning approved to CP-2 Planned General Business District)
Surrounding Zoning: **North:** B-P Planned Business Park District



South: A-G Agriculture District
East: A-G Agriculture District
West: None

Existing Uses: **North:** Dairy Farmers of America
South: Undeveloped land (former Wyandotte County Fairground Maintenance Building)
East: Schlitterbahn Vacation Village
West: Interstate 435

Total Tract Size: 29.57 acres

Master Plan Designation: The Prairie Delaware Piper Master Plan designates this property as Planned Mixed Entertainment/Commercial District

Major Street Plan: The Major Street Plan classifies North 98th Street as a Class C Thoroughfare

Advertisement: Property Owner Letters – March 14, 2018
Wyandotte Echo – Not required

Public Hearing: April 9, 2018

Public Opposition: None to date

PROPOSAL

Detailed Outline of Requested Action: The applicant, Tyler Edwards with Menard Inc. seeks approval for the final development plan to build a 210,754 square foot home improvement store retail building (Menards) at 1301 North 98th Street on 29.57 acres. The development will include the retail store, outdoor landscape and garden area, a lumber warehouse, external sidewalks connecting to 98th Street and a multi-purpose trail behind the property.

City Ordinance Requirements: Article VIII Sections 27-340 – 27-765

FACTORS TO BE CONSIDERED

1. *Neighborhood character.*

The immediate neighbors to the north and east are Dairy Farmers of America and Schlitterbahn Vacation Village. The proposed use is near auto dealerships northwest of North 98th Street and France Family Drive. This area of 98th Street between State Avenue and Parallel Parkway is largely commercial development.

2. *The extent to which the proposed use would increase the traffic or parking demand in ways that would adversely affect road capacity, safety, or create parking problems.*

There are three scales of traffic impact. First at the site level and getting traffic in and out of the site. Second is the intersection with 98th Street and the indication from the traffic study that at least one movement will be level of service F. Finally, in the larger development, the intersection at 98th and Parallel Parkway is designed and not built, and the traffic study indicates the intersection at 98th and State Avenue will have at least one failing movement once Menards opens. See Public Works Comments for further comment.

3. *The degree of conformance of the proposed use to the Master Plan.*

The proposed use conforms to the Master Plan.

4. *The extent to which utilities and public services are available and adequate to serve the proposed use.*

a. *Water service*

Available

b. *Sanitary sewer service*

Available

c. *Storm water control*

To be designed to meet City Code

d. *Police*

Police service is provided by the West Patrol, District #225

e. *Fire*

Fire service is provided by Station #6 near 95th and State Avenue.

f. *Transit*

Kansas City ATA does not provide transit service near this property. The closest transit stop is on Village West Parkway, in between State Avenue and Parallel Parkway, Route #101 and #116.

g. *Schools*

Kansas City, Kansas USD 500

5. *The capability of the proposed use to meet applicable ordinance and other requirements.*

With revisions, the proposed use is capable of meeting applicable ordinance requirements.

PREVIOUS ACTIONS

The Change of Zone Petition, #3151 was approved by the Unified Government Board of Commissioners on March 1, 2018. The variance appeal, #2277 was approved by the Board of Zoning Appeals for a reduction in parking provided the traffic issues are resolved by Planning Engineering and Public Works.

NEIGHBORHOOD MEETING

Not required for a final plan review

KEY ISSUES

Traffic
Screening Rooftop Equipment

STAFF COMMENTS AND SUGGESTIONS

Urban Planning and Land Use Comments:

1. The Board of Commissioners approved the change of zone for Menards subject to the following:
 - a. All rooftop mechanical units will be screened from 98th Street by the parapet. The RTUs must otherwise be screened by the parapet and to provide a sight line study depicting that the equipment will be screened from public view.
 - b. The traffic issues surrounding the development are resolved. This includes, but is not limited to:
 - i. 98th Street medians and signaling;
 - ii. Ingress/egress at the entrances, turning lanes;
 - iii. Lengthening the throat at the entrance for stacking and improved vehicular circulation.
2. The applicant addressed staff's comments from the change of zone and those architectural plans have been approved.
3. The plans were otherwise approved as presented to the Board of Commissioners.
4. Staff is unable to determine if the fence along the north property line, facing DFA is stained as required by the Board of Commissioners. Please clarify and resubmit.

Staff Response: Menards will stain the fence to match the wood color on DFA and maintain it in a like new fashion.

5. Over the road trucks and trailers may not be kept on the property overnight.
6. Cart corrals should not have signage on them.

7. Please resubmit higher resolution building elevations. The PDF becomes pixelated at higher zoom levels.

Staff Response: Staff did not receive higher resolution building elevations.

8. If the applicant does not comply with this request the application must be held over.

Engineering Comments:

- A) Items that require plan revision or additional documentation before engineering can recommend approval:

Public Works Engineering has reviewed the updated Schlitterbahn Vacation Village Traffic Study. Based on the information provided, Public Work Engineering request the following items be incorporated in the design of the proposed developments along with the following corridor improvements.

Menards (Phase 2 of Traffic Study)

- 1) Extend the throat length of the south entrance to the drive lane adjacent to the building (See sketch)
- 2) Design driveway to accommodate the construction of a traffic signal upon meeting criteria for traffic volumes or safety warrants

- B) Items that are conditions of approval (stipulations):

Public Works Engineering has reviewed the updated Schlitterbahn Vacation Village Traffic Study. Based on the information provided, Public Work Engineering request the following items be incorporated in the design of the proposed developments along with the following corridor improvements.

1) **Future Development South of Menards (Phase 3 and 4 of Traffic Study)**

- a. Signal on State Ave. and Schlitterbahn entrance needs to be eliminated per original agreement and reconfigure the median break to eliminate the entrance.
- b. Traffic study will need to be revised to concur with the existing three-party agreement that indicated Schlitterbahn main entrance is to be located on 98th Street.
- c. No addition driveways will be allowed between State Ave and existing Schlitterbahn entrance off of 98th Street.
- d. Access to future development south of Menards will need evaluation to determine appropriate traffic control, location of future driveways, and intersection improvements.
- e. Considerations to should be given for the installation of a roundabout

2) **98th Street Corridor Management Strategies**

- a. Future construction of roundabout at Schlitterbahn entrance at 98th Street, north of State Ave
- b. Future construction of roundabout at first intersection south of Parallel Parkway

- c. Future traffic signal at Menards entrance
- d. Future traffic signal at France Family Drive
- 3) Provide complete CCTV to verify the existing sanitary sewer and manholes which are proposed to be reused are accessible and of satisfactory condition. Where not satisfactory, provide improvements in accordance with UG standards, criteria, and/or requirements.
- 4) Update plans based on the KCP&L easement vacation.
- 5) Coordinate with BPU in regards to the electric line relocation, and show all applicable grading, infrastructure, and easement on the plans, in accordance with BPU and UG requirements and standards.
- 6) All stormwater quality requirements shall be met in accordance with UG standards and criteria. Provide details and calculations as previously requested, including details of proposed StormTech underground BMP's.
- 7) Provide 3rd party inspection services during construction to ensure that the storm drainage system and stormwater BMP's are constructed per the plans.
- 8) The contractor shall coordinate with the Engineer and UG for inspections during key or critical construction installations, as determined by the UG.
- 9) The contractor shall coordinate with the Engineer and UG for a final inspection of the storm drainage and BMP system. All stormwater BMP's and landscaping shall be installed and approved by the UG prior to a Certificate of Occupancy or Temporary Certificate of Occupancy.
- 10) The proposed StormTech underground BMP's are the first large scale project being approved by the UG with a MARC BMP Value Rating of 6.5 instead of 3.0 per a North Carolina study and water sampling. Provide water sampling and testing similar to the North Carolina study, or as determined by the UG, during the first two years of operation.
- 11) Revise all applicable civil and site plans to provide Menards full access entrance in accordance with UG review and approval.
- 12) Revise the waiver request based on the approved plans.
- 13) Construction plans shall meet UG standards and criteria, and shall be reviewed and approved by UG prior to construction permit acquisition.

STAFF RECOMMENDATION

Staff recommends that the City Planning Commission make the findings contained within the staff report related to *Factors to be Considered*, and *Key Issues* and **APPROVE** Petition #PR-2018-15 subject to all comments and suggestions outlined in this staff report.

ATTACHMENTS

Site Plan
Grading Plan
Utility Plan
Landscape Plan

Site Lines
Building Elevations
Light Pole
Sketch

REVIEW OF INFORMATION AND SCHEDULE

<u>Action</u>	<u>Planning Commission</u>	<u>Board of Commissioners</u>
Public Hearing	April 9, 2018	No consideration required
Final Plan		

STAFF CONTACT: **Byron Toy, AICP**
 btoy@wycokck.org

MOTIONS

I move the Kansas City, Kansas City Planning Commission **APPROVE** Petition **#PR-2018-15** as meeting all the requirements of the City code and being in the interest of the public health, safety and welfare subject to such modifications as are necessary to resolve to the satisfaction of City Staff all comments contained in the Staff Report; and the following additional requirements of the Kansas City, Kansas City Planning Commission:

1. _____;
2. _____; And
3. _____.

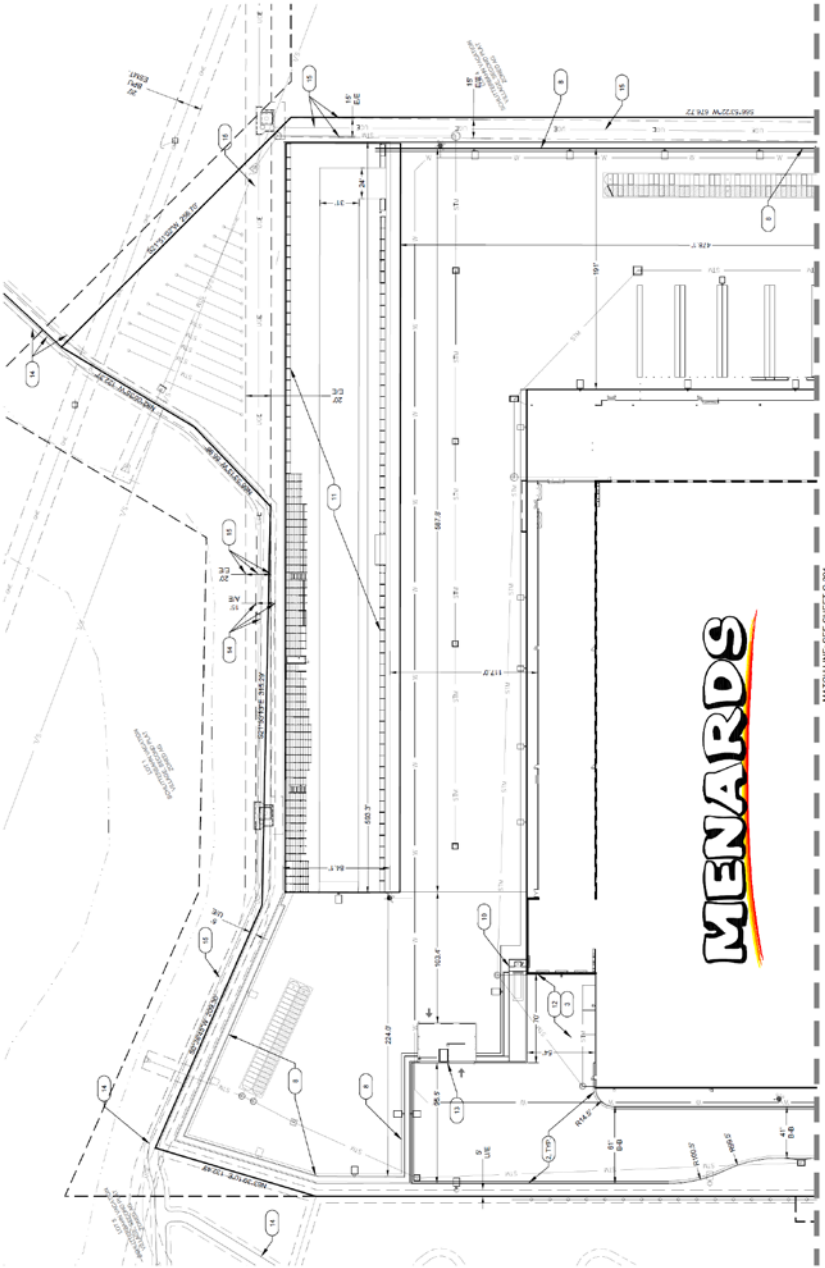
OR

I move the Kansas City, Kansas City Planning Commission **DENY** Petition **#PR-2018-15**, as it is not in compliance with the City Ordinances and as it will not promote the public health, safety and welfare of the City of Kansas City, Kansas; and other such reasons that have been mentioned.

REV	DATE	DESCRIPTION



- KEYED NOTES:**
1. INSTALL CONCRETE COMMERCIAL DRIVE APRON PER UNIFIED GOVERNMENT DETAIL US-41903.
 2. INSTALL GRANITE CURB AND FLUTTER CONTIGUOUS, WHERE SHOWN, PER UNIFIED DETAIL US-41903.
 3. PAVEMENT MARKINGS REFER TO MENARDS SHEET A-131 FOR DETAILS.
 4. MENARDS STORE SIGNAGE REFER TO MENARDS SHEET A-131 FOR DETAILS.
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 15. MENARDS STORE SIGNAGE REFER TO MENARDS SHEET A-131 FOR DETAILS.



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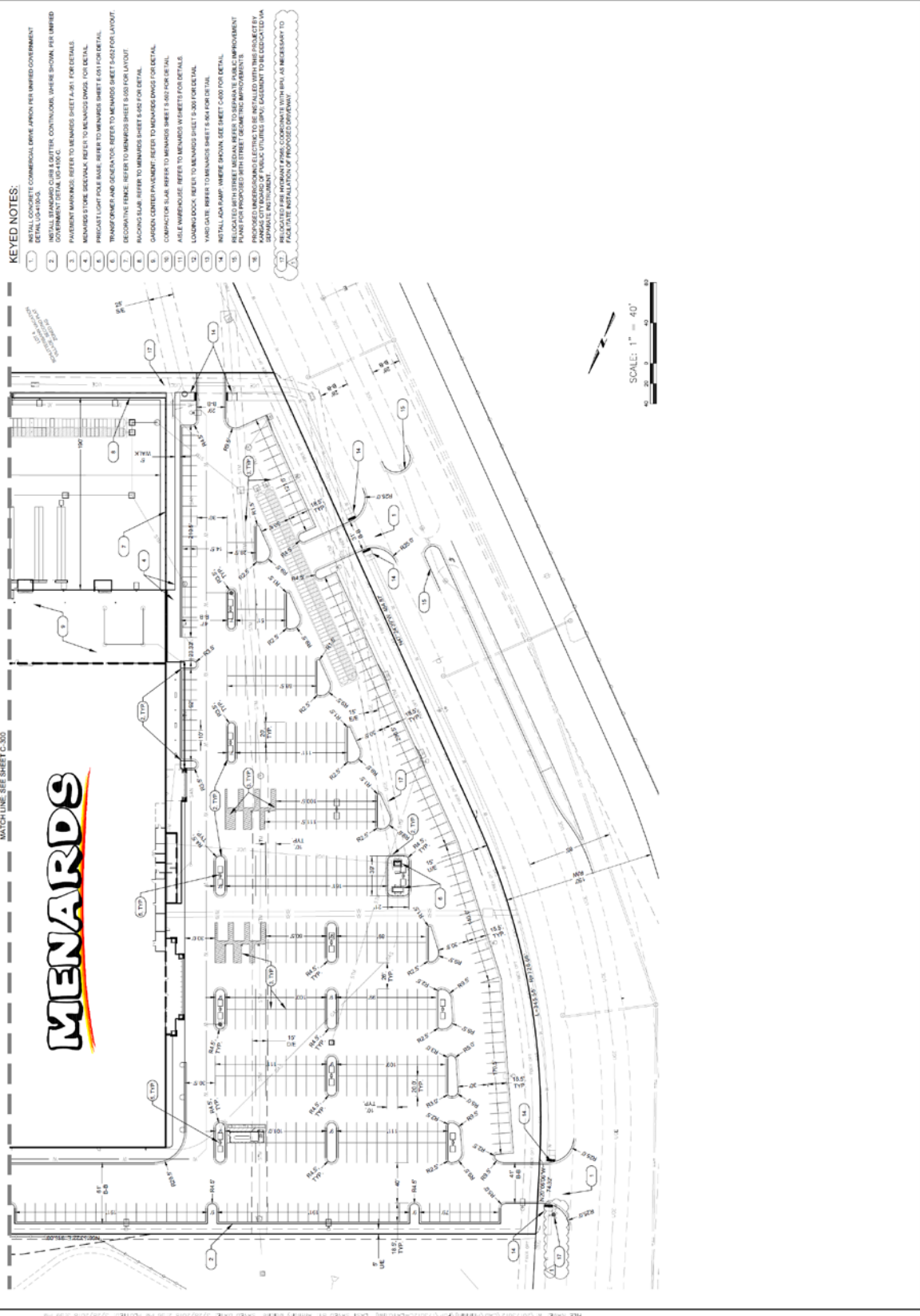
1301 N. 98th STREET
MENARDS
FINAL DEVELOPMENT PLAN
LAYOUT PLAN - WEST

REV	DATE	DESCRIPTION

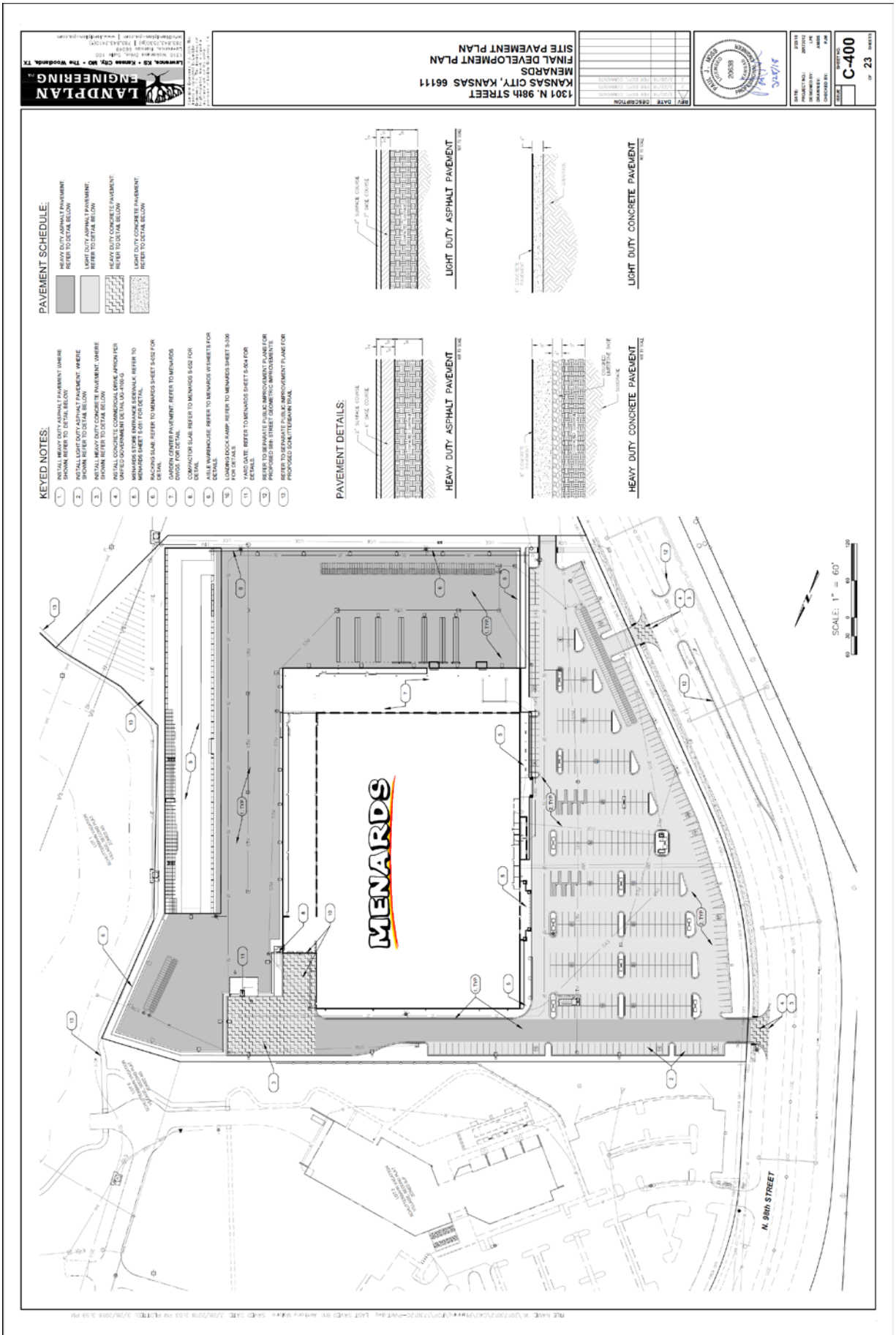


DATE: 05/20/18
PROJECT NO: 2018011
DRAWN BY: JAMES
CHECKED BY:
SCALE: AS SHOWN

C-301
OF 23 SHEETS



- KEYED NOTES:**
1. INSTALL CONCRETE COMMERCIAL DRIVE LAYON PER UNITED GOVERNMENT DETAIL U-1004.
 2. INSTALL GRANITE CURB AND TOPPER CONTINUOUS, WHERE SHOWN, PER UNIFIED DETAIL U-1004.
 3. PARKING MARKINGS REFER TO MENARDS SHEET J-161 FOR DETAILS.
 4. PARKING STRIPS, SEE CALL. REFER TO MENARDS SHEET J-161 FOR DETAIL.
 5. PRECAST LIGHT POLE BASE, REFER TO MENARDS SHEET J-161 FOR DETAIL.
 6. THROUGH DRIVE AND DRIVEWAYS, REFER TO MENARDS SHEET J-161 FOR LAYOUT.
 7. SECONDARY DRIVE, REFER TO MENARDS SHEET J-161 FOR LAYOUT.
 8. CHORD CENTER PAVEMENT, REFER TO MENARDS SHEET J-161 FOR DETAIL.
 9. COMPACTOR SLUR, REFER TO MENARDS SHEET J-161 FOR DETAIL.
 10. ASLE WAREHOUSE, REFER TO MENARDS SHEET J-161 FOR DETAIL.
 11. LOADING DOCK, REFER TO MENARDS SHEET J-161 FOR DETAIL.
 12. HAZD GAR, REFER TO MENARDS SHEET J-161 FOR DETAIL.
 13. INSTALL ADA RAMP, WHERE SHOWN, SEE SHEET C-400 FOR DETAIL.
 14. RELOCATED WITH STREET MEDIAN, REFER TO SEPARATE PUBLIC IMPROVEMENT PLANS FOR PROPOSED WITH STREET GEOMETRIC IMPROVEMENTS.
 15. KANSAS CITY BOARD OF PUBLIC UTILITIES (BKU) CABLEMENT TO BE COORDINATED VIA SEPARATE INSTRUMENT.
 16. RELOCATED PER ADJACENT PINE CORPORAIS WITH BKU, AS NECESSARY TO MAINTAIN EXISTING UTILITIES.



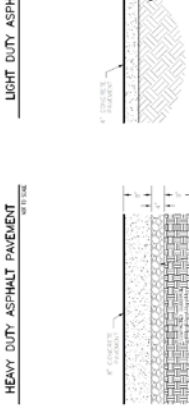
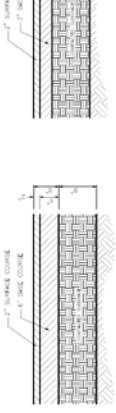
KEYED NOTES:

- 1. INSTALL HEAVY DUTY ASPHALT PAVEMENT (HERE SHOWN) REFER TO DETAIL BELOW.
- 2. INSTALL LIGHT DUTY ASPHALT PAVEMENT. (HERE SHOWN) REFER TO DETAIL BELOW.
- 3. INSTALL HEAVY DUTY CONCRETE PAVEMENT. (HERE SHOWN) REFER TO DETAIL BELOW.
- 4. INSTALL CONCRETE COMMERCIAL DRIVE APPROXIMATE UNIFIED GOVERNMENT DETAIL UG 400G.
- 5. REFINISH AND REPAIR EXISTING PAVEMENT. (HERE SHOWN) REFER TO DETAIL BELOW.
- 6. BACKFILL SLAB. REFER TO MENARDS SHEET S-452 FOR DETAIL.
- 7. DIMENSION ORIENTATION. REFER TO MENARDS SHEET S-452 FOR DETAIL.
- 8. COMPLETION SLAB. REFER TO MENARDS S-452 FOR DETAIL.
- 9. ASILE WAREHOUSE. REFER TO MENARDS SHEETS FOR DETAIL.
- 10. HANG OVER. REFER TO MENARDS SHEET S-300 FOR DETAIL.
- 11. HANG OVER. REFER TO MENARDS SHEET S-300 FOR DETAIL.
- 12. REFER TO SEPARATE PUBLIC IMPROVEMENT PLAN FOR DETAILS AND CONSTRUCTION REQUIREMENTS. REFER TO SEPARATE PUBLIC IMPROVEMENT PLAN FOR PROPOSED SCHEDULED MAIN ROAD.

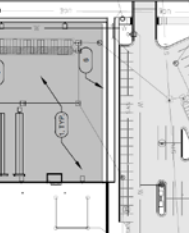
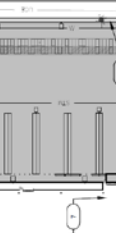
PAVEMENT SCHEDULE:

- HEAVY DUTY ASPHALT PAVEMENT. REFER TO DETAIL BELOW.
- LIGHT DUTY ASPHALT PAVEMENT. REFER TO DETAIL BELOW.
- HEAVY DUTY CONCRETE PAVEMENT. REFER TO DETAIL BELOW.
- CONCRETE COMMERCIAL DRIVE APPROXIMATE UNIFIED GOVERNMENT DETAIL UG 400G.
- REFINISH AND REPAIR EXISTING PAVEMENT. REFER TO DETAIL BELOW.

PAVEMENT DETAILS:



HEAVY DUTY ASPHALT PAVEMENT



LIGHT DUTY ASPHALT PAVEMENT



LIGHT DUTY CONCRETE PAVEMENT



SCALE: 1" = 60'



N. 98th STREET

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 www.landplan-engineering.com

FINAL DEVELOPMENT PLAN
MENARDS
KANSAS CITY, KANSAS 66111
1301 N 98th STREET
SITE PAVEMENT PLAN

REV	DATE	DESCRIPTION



DATE: 04/09/2018
 DRAWN BY: JAMES J. HENNING
 CHECKED BY: JAMES J. HENNING
 PROJECT: 1301 N 98th STREET
SHEET C-400
 OF 23 SHEETS

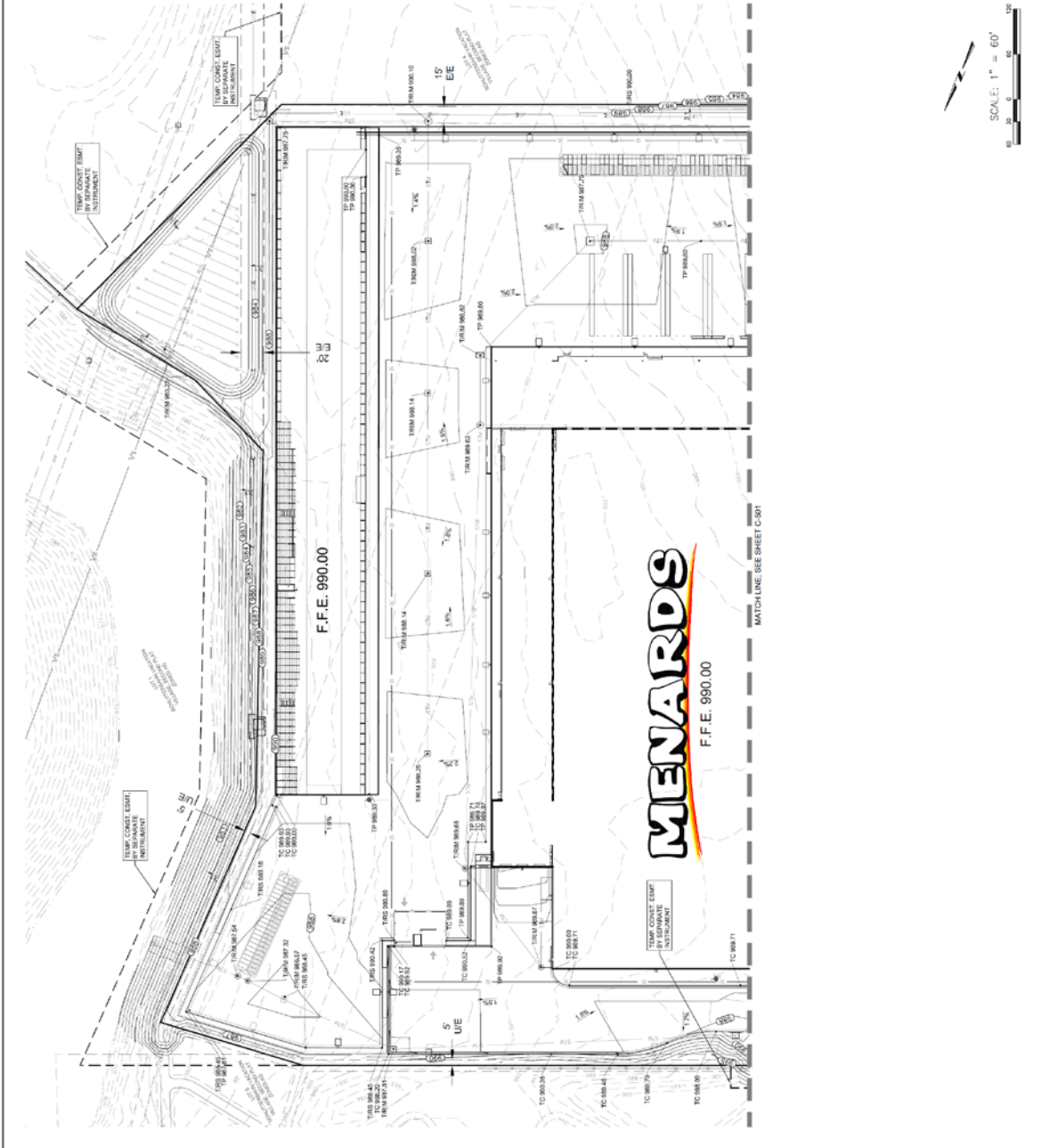
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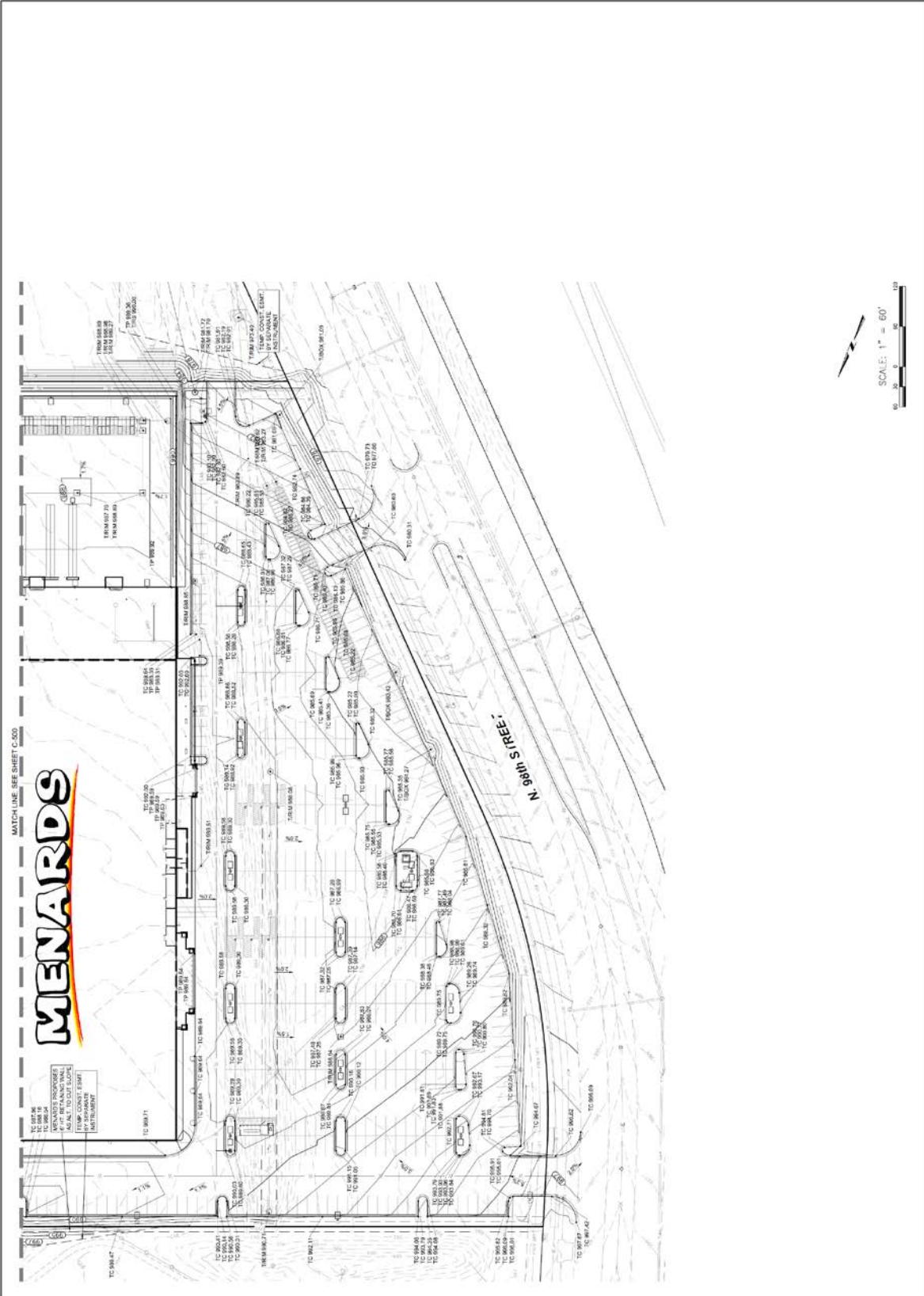
DATE:	2/27/18
PROJECT:	MENARDS
DESIGNED BY:	JAMES
CHECKED BY:	JAMES
SCALE:	C-500
SHEET:	OF 23

GRADING LEGEND:
 F.F.E. FINISH FLOOR ELEVATION
 1' TO 1" TOP OF CURB
 1" TO 1" TOP OF PAVEMENT
 1" TO 1" TOP OF FINISH
 1" TO 1" TOP OF FINISH
 1" TO 1" TOP OF FINISH

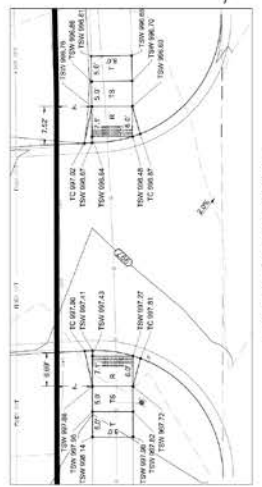
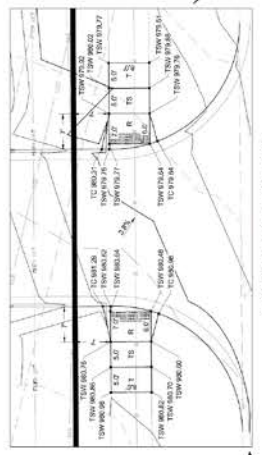
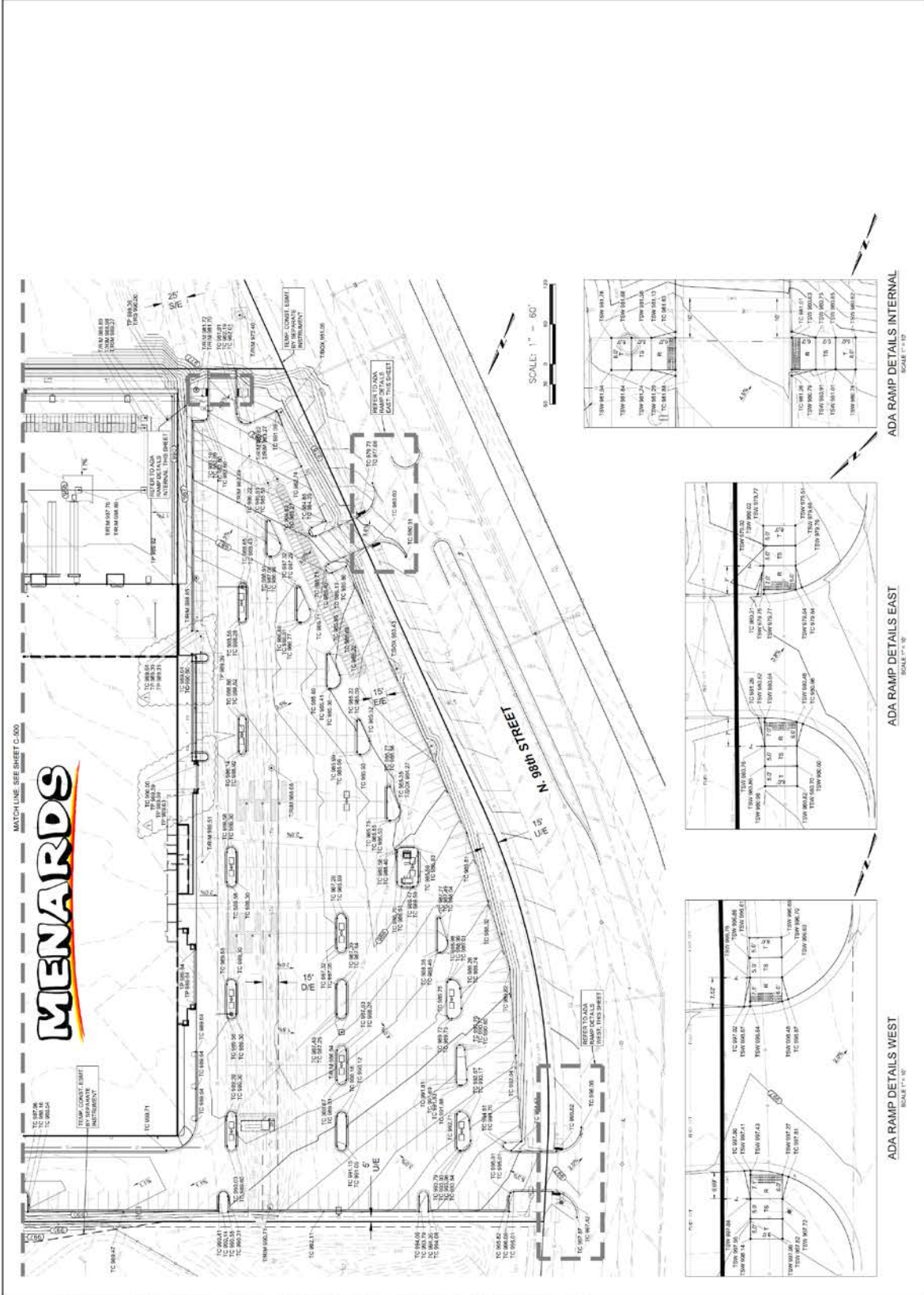
ESTIMATED EARTHWORK QUANTITIES:
 UNGRADED 42,490
 CUT 670
 FILL 471
 NET TOTAL 43,160
 DOES NOT INCLUDE BULKHEAD PAD

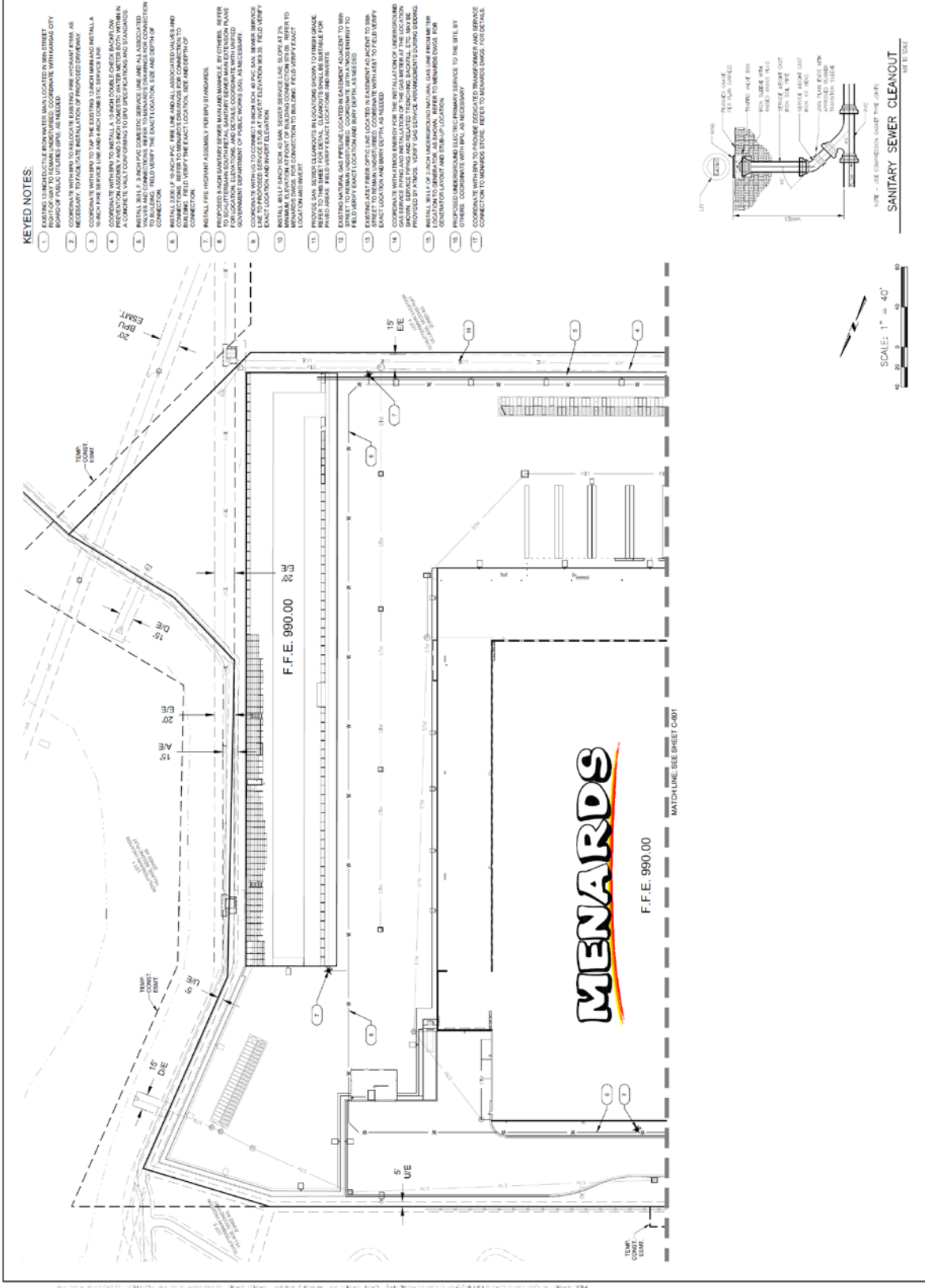


REV	DATE	DESCRIPTION



DATE	DESCRIPTION





- KEYED NOTES:**
- EXISTING 12" DIAMETER IRON WATER MAIN LOCATED IN WEST STREET SHALL BE REMOVED AND REPLACED WITH 24" DIAMETER DUCTILE IRON WATER MAIN. REFER TO THE CITY ENGINEER'S OFFICE FOR THE EXACT LOCATION AND DEPTH OF THE EXISTING MAIN.
 - COORDINATE WITH THE EXISTING 12" DIAMETER IRON WATER MAIN AS NECESSARY TO FACILITATE INSTALLATION OF PROPOSED SEWER.
 - COORDINATE WITH THE EXISTING 12" DIAMETER IRON WATER MAIN TO PREVENT INTERFERENCE AND TO MAINTAIN PROPER CLEARANCE. A COMPLETE VALVE CONNECTION SHALL BE INSTALLED AND STANDARDS SHALL BE MAINTAINED THROUGHOUT THE ENTIRE PROJECT.
 - INSTALL 12" DIAMETER SP-40 RCP WITH 1/4" THICK WALL AND 1/4" THICK FLANGE. REFER TO THE CITY ENGINEER'S OFFICE FOR THE EXACT LOCATION AND DEPTH OF THE EXISTING MAIN.
 - INSTALL THE INVERT ASSEMBLY PER BMP STANDARDS.
 - PROVIDE A 3" RAIN GUTTER WITH 1/4" THICK WALL AND 1/4" THICK FLANGE. REFER TO THE CITY ENGINEER'S OFFICE FOR THE EXACT LOCATION AND DEPTH OF THE EXISTING MAIN.
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 - PROVIDE A 3" RAIN GUTTER WITH 1/4" THICK WALL AND 1/4" THICK FLANGE. REFER TO THE CITY ENGINEER'S OFFICE FOR THE EXACT LOCATION AND DEPTH OF THE EXISTING MAIN.

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 Fax: (913) 241-1112
 Website: www.landplan-engineering.com

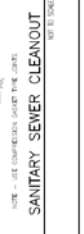
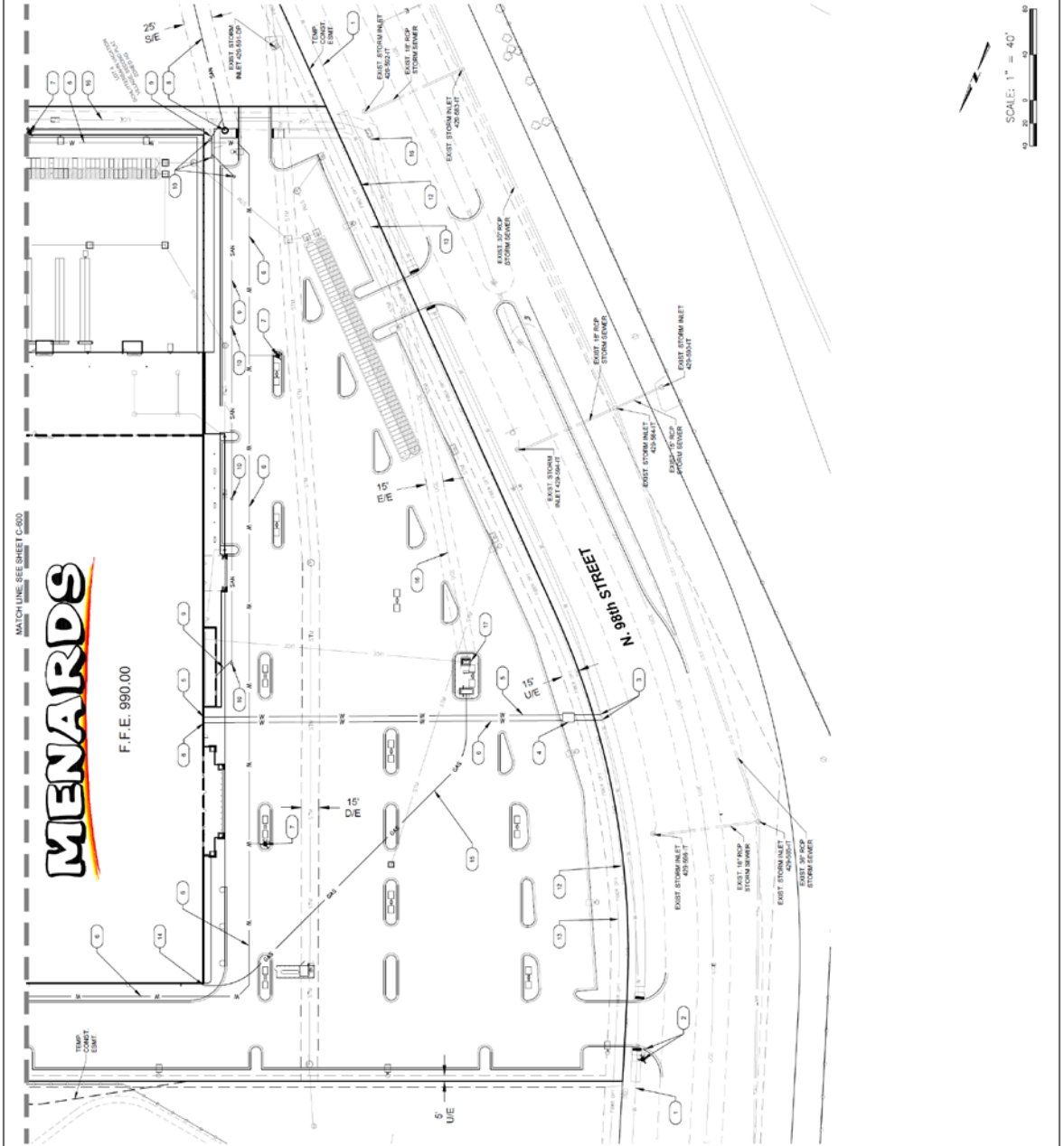
FINAL DEVELOPMENT PLAN
 UTILITY PLAN - EAST
 1301 N. 98th STREET
 MENARDS
 KANSAS CITY, KANSAS 66411

REV	DATE	DESCRIPTION

DATE: 04/09/18
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO.: 2018-001
C-600
 OF 23 SHEETS

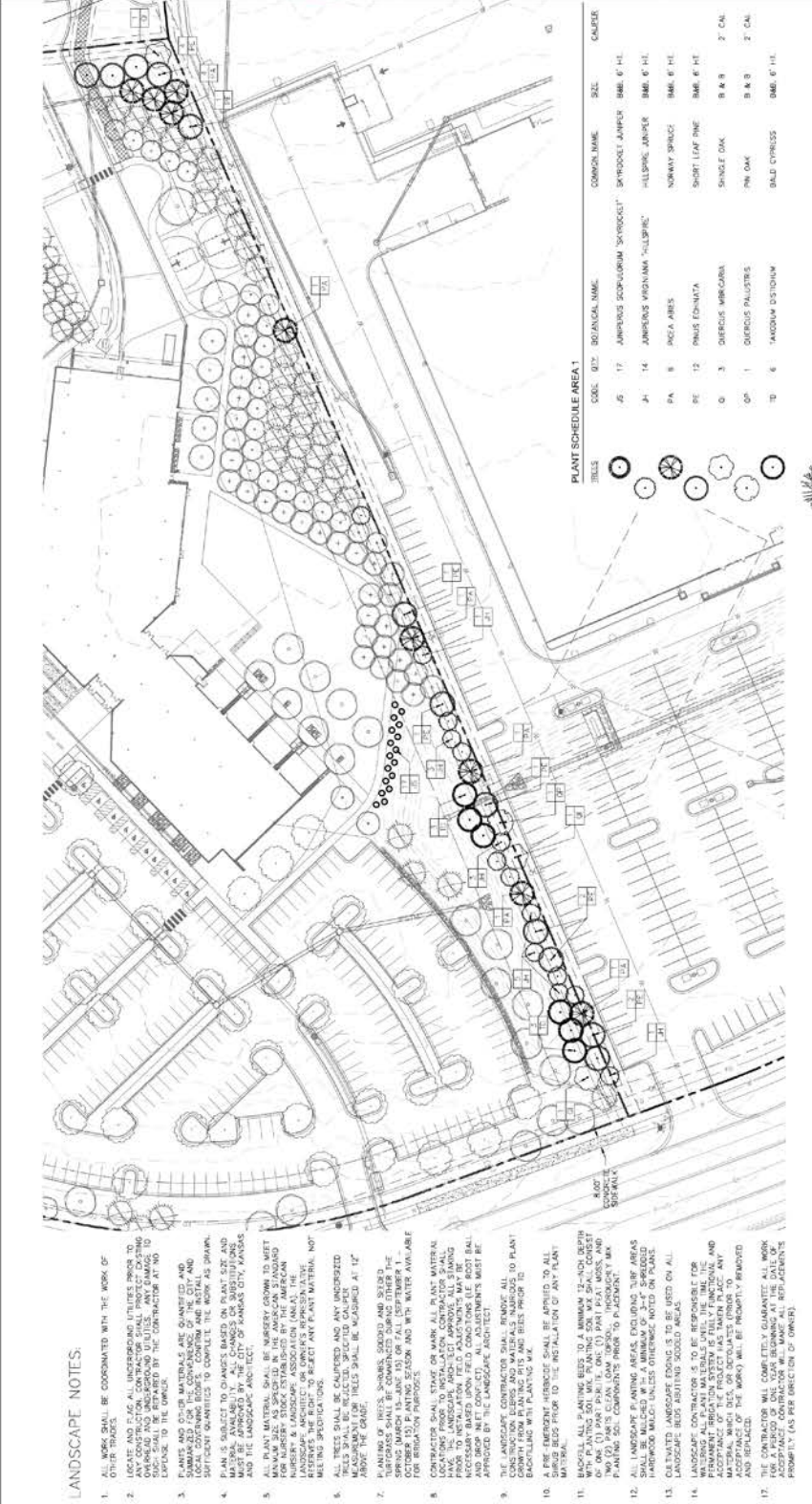


- KEYED NOTES:**
1. EXISTING 18" DIAMETER POTABLE WATER MAIN LOCATED UNDER STREET BEHIND MENARDS SHALL BE MAINTAINED WITH HANGAR CITY BOARD OF PUBLIC UTILITIES (BPU) AS AN UNDERGROUND MAIN.
 2. COORDINATE WITH BPU TO RELOCATE EXISTING 18" DIAMETER HANGAR CITY MAIN NECESSARY TO FACILITATE INSTALLATION OF PROPOSED DRIVEWAY.
 3. COORDINATE WITH BPU TO TAP THE EXISTING 18" DIAMETER MAIN AND INSTALL A 12" DIAMETER SERVICE LINE TO THE PROPOSED DRIVEWAY.
 4. PREVENTIVE ASSEMBLY AND JACO COMETIC WATER METERS BOTH WITH IN A COMPLETE VALVE TO CORROSION TO BPU SPECIFICATIONS AND STANDARD. VALVE AND CONNECTIONS REFER TO MENARDS STANDARD CONNECTION SCHEDULE.
 5. FIELD VERIFY THE EXACT LOCATION, SIZE AND DEPTH OF CONNECTION.
 6. INSTALL 2" DIA. 15' SPACING PIPE LINE AND ALL ASSOCIATED VALVES AND CONNECTIONS REFER TO MENARDS STANDARD CONNECTION SCHEDULE AND CONNECTION TO THE EXISTING TELEPHONE AND CABLE CONNECTION.
 7. INSTALL THE INFLUENT ASSEMBLY FOR BPU STANDARDS.
 8. PROVIDE SCHED 40 INFLUENT MAIN AND MANHOLE BY OTHERS. REFER TO MENARDS STANDARD CONNECTION SCHEDULE FOR CONNECTION TO BUILDING. FIELD VERIFY EXACT LOCATION, ELEVATION AND ACTUAL COORDINATE WITH UNIT AND GOVERNMENT DEPARTMENT OF PUBLIC WORKS (GOW) AS NECESSARY.
 9. FIELD VERIFY THE EXACT LOCATION, SIZE AND DEPTH OF CONNECTION. LINE TO PROVIDED SERVICE LINE AT PROJECT LOCATION. FIELD VERIFY EXACT LOCATION AND INVERT ELEVATION.
 10. INSTALL SELF-ANCHORING 18" SANITARY SERVICE LINE, SLOPE AT 2% TO MENARDS DWGS FOR CONNECTION TO BUILDING. FIELD VERIFY EXACT LOCATION AND INVERT ELEVATION.
 11. PROVIDE 4" DIA. 15' SPACING PIPE LINE AND ALL ASSOCIATED VALVES AND CONNECTIONS REFER TO MENARDS STANDARD CONNECTION SCHEDULE AND CONNECTION TO THE EXISTING TELEPHONE AND CABLE CONNECTION.
 12. FIELD VERIFY EXACT LOCATION AND INVERT ELEVATION.
 13. FIELD VERIFY EXACT LOCATION AND INVERT ELEVATION.
 14. FIELD VERIFY EXACT LOCATION AND INVERT ELEVATION.
 15. FIELD VERIFY EXACT LOCATION AND INVERT ELEVATION.
 16. FIELD VERIFY EXACT LOCATION AND INVERT ELEVATION.
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SCALE: 1" = 40'

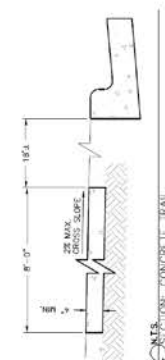


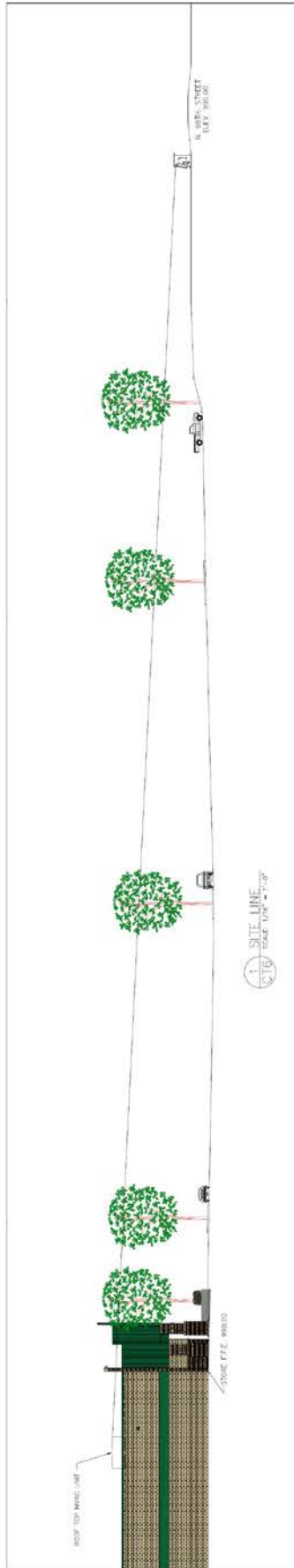


- LANDSCAPE NOTES:**
- ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.
 - LANDSCAPE MATERIALS SHALL BE APPROVED BY THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS (ASLA) AND THE CITY OF KANSAS CITY, KANSAS. ANY DAMAGES TO OVERHEAD AND UNDERGROUND UTILITIES, ANY DAMAGES TO EXISTING UTILITIES, OR ANY DAMAGES TO THE CONSTRUCTION AT THE DISCRETION OF THE OWNER.
 - PLANTS AND OTHER MATERIALS ARE QUANTIFIED AND LOCAL SOURCES, SPECIES, CULTIVARS, COLOR AND LOCAL AND STATE REQUIREMENTS SHALL BE OBTAINED AND CONFIRMED BY THE LANDSCAPE ARCHITECT.
 - PLANS SUBJECT TO CHANGE BASED ON PLANT SIZE AND QUANTITY. ALL PLANTINGS SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - MANUAL IRRIGATION SHALL BE PROVIDED TO MEET ASPIRING TO THE STANDARD OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS (ASLA). THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IN WRITING OF ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
 - ALL TREES SHALL BE CALIBERED AND ANY UNDERGIRDING SHALL BE REJECTED. SPECIFIED CALIBER TREES SHALL BE CALIBERED AT 1/4" ABOVE THE CRANE.
 - PLANTING OF TREES, SHRUBS, BERRIES AND SEEDS SHALL BE INSTALLED ON THE SCHEDULED DATES. SPRING PLANTING IS FROM MARCH 15 TO JUNE 30. FALL PLANTING IS FROM SEPTEMBER 15 TO NOVEMBER 30. PLANTING SHALL BE COMPLETED BY THE SCHEDULED DATES. CONTRACTOR SHALL PROVIDE ALL NECESSARY FIELD CONDITIONS (IE. ROOT BALL, SOIL, MULCH, ETC.) FOR PLANTING. ALL PLANTING MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.
 - THE LANDSCAPE CONTRACTOR SHALL REMOVE ALL EXISTING MATERIALS AND WEEDS FROM THE PROJECT AND BACKFILLING WITH PLANTING MIX.
 - A PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
 - BAGGELL ALL PLANTING BEDS TO A MINIMUM 12-INCH DEPTH WITH PLANTING MIX. PLANTING MIX SHALL CONSIST OF TWO (2) PARTS CLEAN LOAM SOIL, ONE (1) PART SAND AND ONE (1) PART COMPOST OR FERTILIZER. HERBICIDE MAY BE APPLIED TO PLANTING MIX PRIOR TO PLANTING.
 - PLANTING MIX SHALL BE APPLIED TO PLANTING BEDS IMMEDIATELY UPON PLANTING. MULCH SHALL BE APPLIED TO PLANTING BEDS IMMEDIATELY UPON PLANTING.
 - COVERED LANDSCAPE BEDS SHOULD BE USED ON ALL PLANTING BEDS. MULCH SHALL BE USED TO COVER THE PLANTING BEDS IMMEDIATELY UPON PLANTING. MULCH SHALL BE APPLIED TO PLANTING BEDS IMMEDIATELY UPON PLANTING. MULCH SHALL BE APPLIED TO PLANTING BEDS IMMEDIATELY UPON PLANTING.
 - THE CONTRACTOR SHALL GUARANTEE ALL WORK FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF COMPLETION. THE CONTRACTOR SHALL GUARANTEE ALL WORK PROMPTLY (AS PER DIRECTION OF OWNER).

PLANT SCHEDULE AREA 1

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CALIBER
17	17	AMMOCYTIS SOPHOROM	SKYROCKET	8MM 6' H.L.	8MM 6' H.L.
21	14	JANEBUS VIGONIANA	"HOLLERC"	8MM 6' H.L.	8MM 6' H.L.
23	8	PRUNUS ABRUS	NORWAY SPRUCE	8MM 6' H.L.	8MM 6' H.L.
24	3	QUERCUS VAGRANT	SHORT LEAF PINE	8MM 6' H.L.	8MM 6' H.L.
25	3	QUERCUS VAGRANT	SHRUB OAK	8 B B	2" CAL
26	1	QUERCUS VAGRANT	PINE OAK	B B B	2" CAL
27	6	QUERCUS VAGRANT	BALD CYPRESS	8MM 6' H.L.	8MM 6' H.L.





Revised Plans

